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পশ্চিমর্ক্তা पश्चिम बंगाल WEST BENGAL UNDERTAKING FOR RULE-147 (K.M.C BULDING RULES) REF : PREMISES NO.- 90, MUZAFFAR AHMED STREET (FORMERLY RIPON STREET), WARD NO.- 062, P.S.- PARK STREET, KOLKATA-700016, BOROUGH- VI, [K. M. C.]

 FIRDOUS KALIM son of Late Md. Kalimuddin, by religion Islam, by occupation Businees, by nationality Indian, residing at Premises No.- 84/9, Ripon Street, P.S- Park Street, Kolkata-700016. And being the Constituted Power of Attorney of HATIM & COMPANY, I do hereby undertake – 1 I say that 'HATIM & COMPANY' is the absolute owner of Premises No.- 90, Muzaffar Ahmed Street (Formerly Ripon Street), Ward No.- 062, P.S.- Park Street, Borough- VI, Kolkata-700016, measuring about a land area of 17 Katha 00 Chattak 00 Sft, equivalent to 1137.123 Sq.m. as per Deed & 16 Katha 01 Chattak 36 Sft. equivalent to 1077.759 Sq.m. as per Physical measurement or Site. 2 That we have submitted a plan for a G+VII storied Residential Building of 23,975 Mt. height at the above mentioned premises and we will comply the Rule no 147 of K.M.C Building Rules 2009. Signature of the Declarant / S FIRDOUS KALIM

Constituted Power Attorney of HATIM & COMPANY FIRDOUS KALIM Constituted Power of attorney of Hatim & Company

BHARAT SANCHAR NIGAM LIMITED
(A Goot, of India Enterpise)
Office of the Chief General Manager, Eastern Telecom Projects
Microwave Survey Division,
2/5A, Judges Court Road, Judges Court 2/5A, Judges Court Road, Alipore. Kolkata - 700 027

No-G/MWC/1-150/T.B/2018-19/Cat-3/Vol-I/10 (282) Dated at Kolkata 15-09-2018 Sub:- NOC for Microwave clearance of height of the proposed residential building. In connection with your application regarding above mentioned subject, it is observed that there is no physical obstruction to the working BSNL Microwave System from the proposed residential buildings, as per drawing supplied with your application. Therefore, NOC for Microwave clearance for your project having following particulars is hereby issued. Name of the Project: Residential Building. Premises No. 90, Muzaffar Ahmed Street, Ward No. 62, Borough-VI, P.S: Park Street, Under KMC, Kolkata-700016.

30.90M (Thirty Point Nine Zero meters only) above ground Level including lift machine room and water tank on the roof top. One set of drawings, duly signed is returned herewith. Any change/alteration/Modification in the drawings with respect to upward revision of height and/or shifting of Building Footprint is not permissible and will constitute an actionable

ItemNo 176/18-19 Br 06 Ward 062 PremisesNo 90, Muzaffar Ahmed Street

Proposal:
This is a proposal for sanction of G+VII storied residential building of height 25.40 meter under section 393A of the KMC Act, 1980. Area of the plot is 1077.759 Sq.M. (physical) and widths of the abutting roads are 9.448 meter and 3.676 meter (minimum).
Name of Architect: Amitax Biswas, CA/2010/47702
Name of ESE: Mita Saha, I/92
Name of GTE: Subhankar Roy, I/5
Name of Applicant: Firdos Kallin, CA
Total Proposed Existing Floor Area: 238.10 Sq.M.
Total Proposed Gross Floor Area: 238.10 Sq.M.
Exempted Area: 1556.60 Sq.M.
NOC / Observation Submitted: WBF&ES (vide no. IND/WB/FES/20172018/637 dated 24/01/2018),
BSNL (30.90 meter vide no G/MWC/1-150/T.B/2018-19/Cat-3/Vol-I/10(282) dated 15/09/2018)

W.B.F. & E.S.

Resolution:
The plan proposal has been examined in the Building Committee in detail.
Observation from WBF&ES has been submitted but the proposal differs from the fire approved plan.
However representative of the Fire Department opined that fresh fire observation may not be required and he requested to send one set of present proposal for their departmental record.
NOC in regard to UL(C&R) Act 1976 in terms of rule 4(4) of the KMC Building Rules, 2009 has to be submitted before generation of demand notice for sanction fees and charges.
The proposal, as corrected, is recommended for sanction subject to compliance of above and other departmental requisitions and compliance of departmental circulars, if any. Signatures of Members

FIRM D HAKIM

MeetingNo 553 MeetingDate 05/10/2618 Fouri No of Cases: 14

No Objection Certificate
Under the Urban Land [Ceiling & Regulation] Act, 1976 To HATIM & COMPANY, 90; Muzaffar Ahmed Street, Kolkata – 700016.

Sub: Your application for No-objection Certificate dated 07.03.2018 in respect of Premises No. 90, Muzaffar Ahmed Street, Kolkata-700016, in terms of Rule 4(4) the Kolkata Municipal Corporation Building Rules 1990. In consideration of your application and prayer thereof No-objection certificate is licreby granted in terms of rule 4(4) of the Kolkata Municipil Corporation Building Rules, 1990 in respect of the landed property mentioned hereunder. A statement required in terms of provision of section 22(1) of the Urban Land (Ceiling and Regulation) Act, 1976 must be filed by you after demolition or destruction of existing structures within the stipulated time It is, however, mentioned that this certificate will not deter the undersigned from proceeding against the holder if it is subsequently revealed that there is excess vacant land under the Urban Land (Ceiling & Regulation) Act, 1976.

Premises No : 90, Muzaffar Ahmed Street, Kolkata-700016. KMC Ward No. 62 Area :- 1077.759 Sq.mtr.( One Thousand Seventy Seven point Seven Five Nine) Sq. Mtrs.

A. Preventive measures need to be taken for poliution free environment: a) Wrap construction area/buildings with geotextile fabric installing dust barriers or other actions, as appropriate for the location,
b). Apply water and maintain soils in a visible damp or crusted condition for temporary stabilization.
c) Apply water prior to leveling or any other earth moving activity to keep the soil moist throughout the process; process;
d: Limit vehicle speeds to 15 mph on the work site.
e) Clean wheels and undercarriage of haut trucks prior to leaving construction site
f) Apply and maintain dust suppressant on hauf routes.
g) Apply a cover or screen to stockpiles and stabilize stockpiles at completion or activity by water and maintain a dust palliative to all outer surfaces of the stockpiles;
h) Stabilize surface soils where loaders, support equipment and vehicles will operate by using water and operate;
maintain surface, soils in a stabilized condition where loaders, support equipment and vehicles will operate. operate;

Stabilize adjacent disturbed soils following paving activities with immediate landscaping activity or installation of vegetative or rock cover. Assalation or vegetative or rock cover.

Maintain dust control during working hours and clean track out from paved surfaces at the end of the work shift/day. Track out must now extend 50 feet or more and must be cleaned dally, at the minimum.

k) Stabilize sloping surfaces using soil binders until vegetation or ground cover can effectively stabilize the slope,

1) Disposal of debris in consultation with the local authorities following proper environmental m) During construction work, including cutting of marbles, ambient noise level should not exceed more than 65 dB(A).

B. Practices to be discarded for pollution free Environment:-

a) Don't dispose of debris indiscriminately,
b) Don't allow the vehicles to run at high speed within the work site.
c) Don't cut materials without proper dust control/noise control facility.
d) Don't keep materials without effective cover.
e) Don't allow access in the work area except workers to limit soil disturbance and prevent access by fencing, ditches, vegetation, berms or other suitable barrier.
f) Don't leave the soil, sand and cement stack uncovered.
g) Don't keep materials or debris on the roads or pavements.
h) Burning of old tyres in hot mix plant as a fuel during construction and repair of the roads for melting coal tar should be discarded:

GOVERNMENT OF WEST BENGAL OFFICE OF THE DIRECTOR GENERAL
WEST BENGAL FIRE & EMERGENCY SERVICES
13-D Mirza Ghalib Street, Kolkata- 700 016

Memo No : IND/WB/FES/20172018/637

Fire Prevention Wing, West Bengal Fire & Emergency Services. Firdous Kalim ( C/A of Hatim & Co.) 90, MUZAFFAR AHMED STREET

Head Quarter F.S., Park Street, Kolkata - 700016. Sub: Fire Safety Recommendation for null construction of: G + 7 storied building under group Residential at the Premises No.- 90, MUZAFFAR AHMED STREET This is in reference to your Application No. IND/WB/FES/20172018/637,dated 24/01/2018,

regarding the Fire Safety Measure for null construction of G + 7 storied building under group Residential at the premises no.- 90, MUZAFFAR AHMED STREET, Park Street, The plan submitted by you was scrutinized and marked as found necessary from Fire Safety point of view. In returning one set of plan with recommendation, this is issuing Fire Safety Recommendation in favour of the aforesaid building subject to the compliance of the following fire safety measure.

Recommendation: The whole proposed construction of the building shall be carried out as per approved plan drawings conforming the relevant building rules of Kolkata Municipal Corporation. 2. The floor area exceeds 750 Sq. Mts. shall be suitably compartmented by separation walls up to ceiling level having at least two hours Fire resisting capacity.

The interior finish decoration of the building shall be made with low flame spread materials 4. Po sion of ventilation at the crown of the central core-duct of the building shall be 5. Arrangements shall have to be made for sealing all the vertical and horizontal ducts by the materials of adequate Fire resisting capacity & the doors of service ducts / shafts of 2 hr. fire

2. OPEN SPACE & APPROACH: The open space surrounding the building shall be kept clear open to sky and shall conform the relevant building rules as well as permit the easy accessibility and manoeuverability of 2. The approach roads & internal drive ways shall be sufficiently strong to withstand the load 3. The width and height of the access gates into the premises shall not be less than 4.5 Mts. and 5 Mts respecting abutting the road.

 The staircase of the building shall be enclosed type. Entire construction shall be made of bricks/R.C.C. type having Fire resisting capacity not less than 4 hours. 2. The staircase of the building shall have permanent vents at the top and openable sashes at 3. The width of the staircases shall be made as marked in the plan. Corridors and the exit doors shall conforming the relevant building rules with up to date amendment.

4. All the staircases shall be extended up to the terrace of the building and shall be negotiable 5. Fire and smoke doors at the entrances of all the staircase enclosures as marked in the plan at each floor level shall be provided. The F.C.D. shall be of at least one hour Fire resisting wire glass window fitted with self-closing type openable in the direction of escape.

 LIFT.
 The walls of the lift enclosure shall be at least two hours Fire resisting type. Collapsible gate small not be permitted.

2. Lift shall be designed for Fire Lift. The word "FIRE LIFT" shall conspicuously written at 3. Alternate source of power supply shall be provided for all lifts through manually operated 5. FIRE FIGHTING WATER : I. Underground Water Reservoir exclusively for Fire Fighting operation minimum 50,000 lts.

capacity to be kept full at all time. 2. The Fire water reservoir shall be have overflow arrangement with the domestic reservoir to Provision of necessary manhole shall be made on the top of the reservoir as per 4.Provision of replenishment at the rate of at least 1000 lts./min. from two separate source of 5.Provision of placing Fire Appliances on the underground water reservoir to be made to draw water in case of emergency. 6. WATER LAYOUT SYSTEM :

Resolutions of VIBC Meaning

a.Ring Main Hydrant System: 1.150 mm dia Ring Main water layout arrangement along with 3 way Fire Service inlet covering the entire premises with provision of piller type yard hydrants with door hose boxes, containing 2 lengths of 63mm delivery hose and short branch pipe shall be provided at all the strategic location surrounding the building to be installed conforming I. S. 3844 – 1989 (up to Z.The system shall be so designed that shall always be kept charged with water under pressure and capable to discharge min. 1620 lts. / min. at the pressure 3.5kg / sq.cm. at any

b.Wet Riser & Hose Reels System: The building shall be provided with 150 mm dia Wet Riser and Hose boxes provision of outlets in each floor at the staircases landings / half landings as per suitable at the rate of 2. Provision of hose reel units on swiveling drum in conjunction with wet riser near each landing valves shall be made at each floor level of the building. 3.All other requirements of the water based Fire Protection System shall be made as per I. S. Specification 3844 – 1944 (with up to date amendment).

 Provision of the Fire Pump shall have to be made to supply water at the rate-designed pressure and discharge into the water based system, which shall be installed in the building. One such pump shall always be kept on Stand-by preferably be of diesel driven type. 2. Provision of Jockey Pump shall also have to be made to keep the Water based system under pressurizes condition at all the time. All the pumps shall be incorporated with both 9. ELECTRICAL INSTALLATION & DISTRIBUTION:

1. The electrical installation including transformers, Switch Gears, Main & Meters etc. and the distribution system of the premises shall be made satisfying the code of practice for Fire Safety in general building as laid down in the I.S. specification 1946-1982. 2. The ducts shall be supply sealed at all floor level. 3. The electrical installation shall be adequately protected with CO2/D.C.P. or Medium 4. Alternative Power Supply: Arrangements shall have to be made to supply power with help of a generator to operate at Arrangements shall have to be made to supply power with help of a generation to operate at least the Fire Pump. Pump for deep Tube-well, Fire Alarm System, Fire Lift etc. and also for illuminating the Staircase, Corridors etc. and other places of assembly of the building in case

10. DETECTION, ALARM AND SUPPRESSION SYSTEM: Manually operated Electrical Fire Alarm System with at least two numbers of break glass type call boxes fitted with Hooters along with public address system, other requirements of the system shall be made conforming I.S. 2189-1988. 2. Hooter will be sounded in such a manner so that an operation of a Manual Call Point Hooters will sounded on the same floor and immediate alternate floor. Public Address System linked between all floors and Control Room shall have to be

11. AIR CONDITIONING SYSTEM: (if any The A.H.U. shall be separated for each floor with the system Air Ducts for individual floors. 2.Arrangement shall be made for isolation at the strategic locations by incorporating auto 3. The Air Handling Units room shall not be used for storage of any combustible materials. 4. The system of auto shut down of AHU shall be incorporated with the auto detection and 12. FIRST AID FIRE FIGHTING SYSTEM: First Aid Fire Fighting arrangement in the style of placing suitable type of portable Fire

Extinguishers, Fire Buckets etc. in all floors and vulnerable locations of the premises shall be 13. GENERAL RECOMMENDATIONS: 1. Fire License shall have to be obtained for proposed storing and processing with L.P.G. and 2.Fire Notice for Fire Fighting and evacuation from the building shall be prepared and be

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displayed at all vulnerable places of the building. 3. Floor numbers and directional sign of escape route shall be displayed prominently. 4. The employees and security staff shall be conversant with installed Fire Fighting equipments of the building and to operate in the event of Fire and Testing. 5. Arrangement shall be made for regular checking, testing and proper maintenance of all the Fire Safety installation and equipments installed in the building to keep them in perfectly good working conditions at all times. 6.A crew of trained Fireman under the experienced Officer shall be maintained round the clock for safety of the building.

all occupants of the building.

14. After obtaining Fire Safety Certificate each year a certificate to be obtained from the Director General, West Bengal Fire & Emergency Services certifying about the satisfactory services, performances of Fire Safety arrangements and installation of the building. On compliance of all the above the Safety recommendations, the Director General, West Bengal Fire & Emergency Services shall be approached for necessary inspection and testing of the installation; Fire Safety Certificate in favour of the occupancy shall be issued on being satisfied with the tests and performances of safety aspects of installation of the building. N.B.: Any deviation and changes the nature of use of the building in respect of the approved plan drawing, without obtaining prior permission from this office, this Fire Safety

7. Mock Fire practice and evacuation drill shall be performed periodically with participation of

West Bengal Fire & Emergency Services

Recommendation will be treated as cancelled.



Plan for Water Supply arrangement including SEMILI G. & O. H. reservoirs should be submitted at the Office of the Ex-Engineer Water Supply and the sanction obtained before proceeding with the work of Water Supply any deviation may lead to disconnection/demolition.

Before starting any Construction the site must conform with the plans sanctioned and all theconditions as proposed in the plan should be fulfilled. The validity of the written permission to execute the work is subject to the above

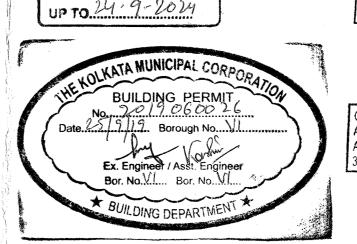
No rain water pipe should be fixed or discharged on Road or Footpath. Drainage plan should be submitted at the Borough Executive Engineer's Office and the sanction obtained before proceeding with the drainage work.

Design of all Structural Members including that of the foundation should conform to Standards specified in the National Building All Building Materials to necessary & construction should conform's to

A suitable pump has to be provided i.e. pumping unfiltered water for the distribution to the flushing cisterns and urinals in the building incase unfiltered water from street main is not available. DEVIATION WOULD MEAN DEMOLITION

THE SANCTION IS VALIED

standered specified in the National Building Code of India. Non Commencement of Erection/ Re-Erection within Five year will Require Fresh Application for Sanction Approved By: Han No. 176/13-



The Building Committee CONSTRUCTION SITE SHALL BE MAINTAINED FREE FROM AIR POLLUTION ACCORDING TO UNDERTAKING SUBMITTED AS PER AMENDMENT DT. 31.01.2019 VIDE NO. 95/MA/O/C-4/ 3R-7/2017 OF SCHEDULE-IV OF KMC BUILDING RULE 2009 Approved subject to Compliance of requisition of West Bengal Fire Services. If any.

" Provision for use of solar energy in the form of solar heater and I or solar photo-cells shall be provided a required under Rule 147 of Building rules, 2009 an completion certificate will not be issued in case of building without having such provision "

The building materials that will be stacked on Road/Passage or Foot-path beyond 3-months or after construction of G. Floor, whichever is earlier may be seized forthwith by the K.M.C. at the cost and risk of the owner.

CONSTRUCTION SITE SHALL BE MAINTAINED TO PREVENT MOSQUITO BREEDING AS REQUIRED U/S 496 (1) & (2) OF CMC ACT 1980. IN SUCH MANNER SO THAT ALL WATER COLLECTION & PARTICULARLY LIFT WELLS, VATS, BASEMENT CURING SITES, OPEN RECEPTACLES ETC. MUST BE EMPITED COMPLETELY TWICE A WEEK.

RESIDENTIAL BUILDING