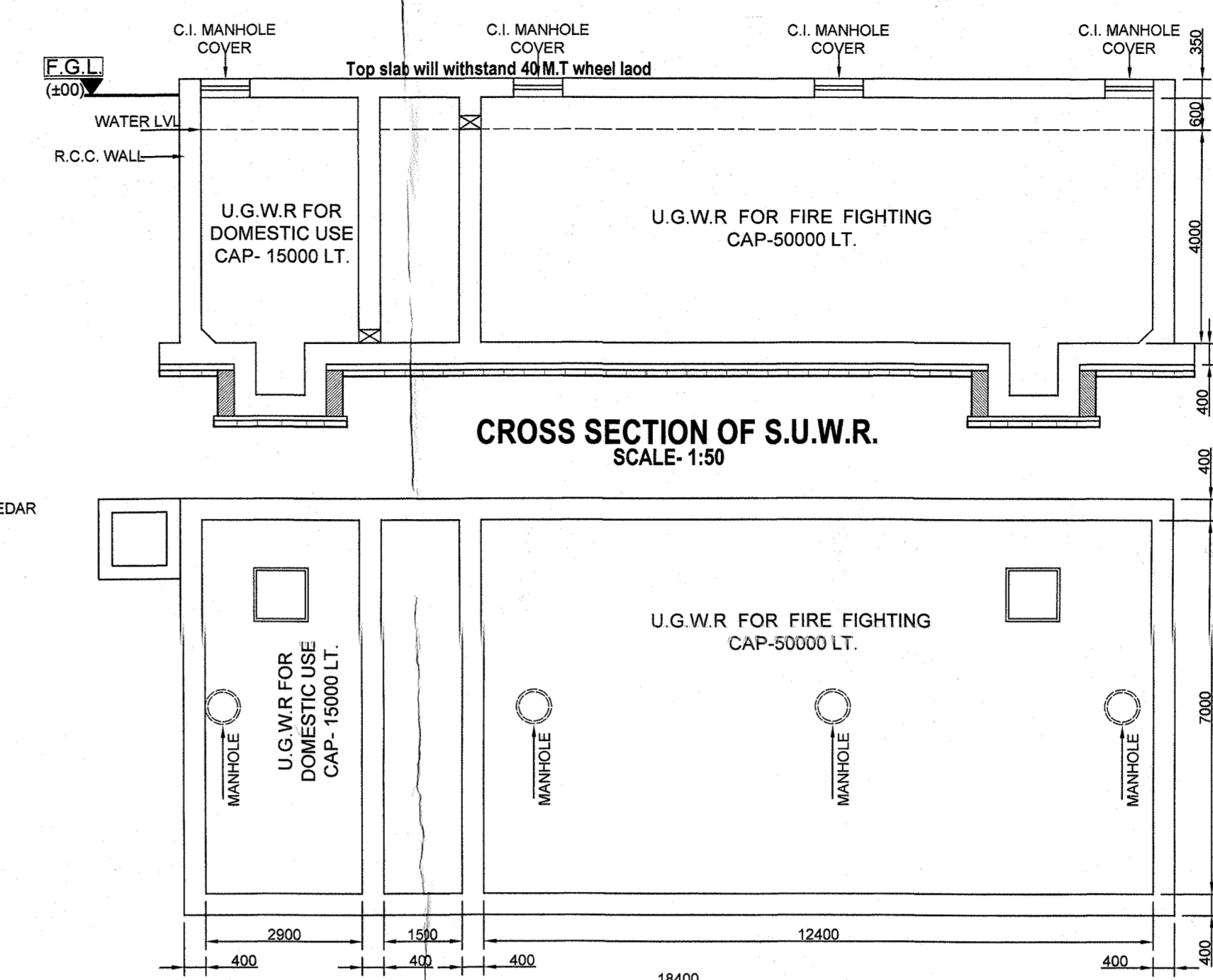


BUILDING(G+V) 20 m.  
PRE.NO.-91 MUZAFFAR AHMED STREET

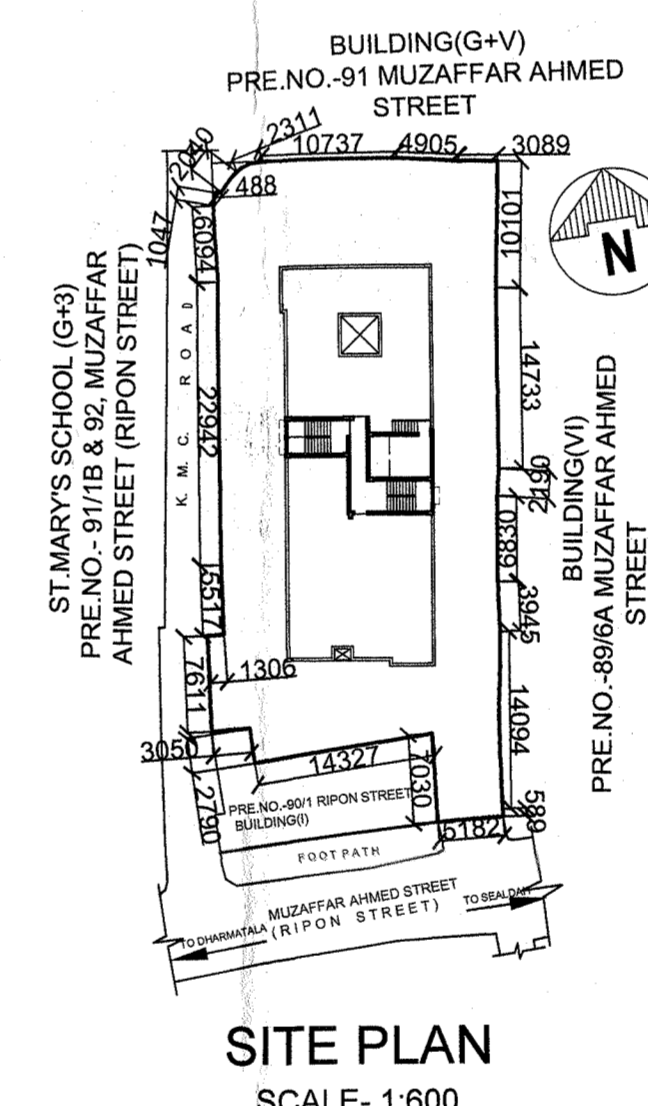
BUILDING(G+V) 20 m.  
PRE.NO.-91 MUZAFFAR AHMED STREET



CAPACITY 7500 LT.  
2 times pumping

CROSS SECTION  
OF O.H.W.T.  
SCALE: 1:50

PLAN  
OF O.H.W.T.  
SCALE: 1:50  
2 times pumping



LOCATION PLAN  
SCALE: 1:4000

STATEMENT OF THE PLAN CASE NO.: 2018060020

PART-A: 1) ASSESSEE NO : 110621600643 2) DETAILS OF REGISTERED DOCS:					
DEED	BOOK NO.	CDVOLNO.	PAGE FROM-TO	BENGINO.	REG. AT DATE & YEAR
BOUNDARY DEC	I	444	479-502	12674	D.S.R. - KOL 22/06/1990
DEED OF DEC.	I	1902-2017	11675-11687	190200345	A.R.A. - II 15/02/2017
DEED OF DEC.	I	1902-2017	49260-49276	190201504	A.R.A. - II 26/05/2017
DEED OF DEC.	I	1902-2018	119695-119705	190203466	A.R.A. - II 17/09/2018
3. a) AREA OF LAND : 1077.759 SQ.M. b) NO OF STOREY : G+V 4. a) NO. OF TENEMENTS : 28 NOS. 5. SIZE OF TENEMENTS : 75+ to 100 Sqm ...21 NOS OF TENEMENT. ABOVE 100 Sqm ...7 NOS OF TENEMENT.					

PART-B: 1. AREA OF LAND : 1137.123 SQ.M. 2. AS PER TITLE DEED(17 KATHA 00 CHHATAK 00 SFT.) = 1137.123 SQ.M. 3. NET LAND AREA = 1077.759 SQ.M. 3A. GIFTED TO KMC FOR STRIP OF LAND = 1.58 SQ.M. 4. (i) PERMISSIBLE GROUND COVERAGE (60.00%) = 646.639 SQ.M. (ii) PROPOSED GROUND COVERAGE (34.308 %) = 369.762 SQ.M. 5. PROPOSED HEIGHT = 23.975 MT. 6. ROAD WIDTH = 9.448 M					
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6. PROPOSED AREA :-					
TYPE	TOTAL AREA	DUCT + VOID	LIFT WELL	STARCOVERED AREA	LIFT LOBBY
OR FLOOR	360.782 SQ.M.	360.782 SQ.M.	360.782 SQ.M.	360.782 SQ.M.	360.782 SQ.M.
1ST FLOOR	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.
2ND FLOOR	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.
3RD FLOOR	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.
4TH FLOOR	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.
5TH FLOOR	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.
6TH FLOOR	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.
7TH FLOOR	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.	377.777 SQ.M.
TOTAL	360.782 SQ.M.	360.782 SQ.M.	360.782 SQ.M.	360.782 SQ.M.	360.782 SQ.M.

7. TENEMENTS & CAR PARKING CALCULATION :-					
(A) RESIDENTIAL					
FLAT	TENEMENT SIZE	PROPORTIONAL LOADING AREA	ACTUAL TENEMENT AREA	NO. OF TENEMENT	REQUIRED CAR PARKING
A	73.884 SQ.M.	11.526 SQ.M.	85.410 SQ.M.	7	21 NOS.
B	86.852 SQ.M.	13.549 SQ.M.	100.401 SQ.M.	7	
C	73.165 SQ.M.	11.414 SQ.M.	84.579 SQ.M.	7	
D	89.931 SQ.M.	14.029 SQ.M.	103.960 SQ.M.	7	
8. TOTAL REQUIRED CAR PARKING :- 21 NOS.					
9. TOTAL PROVIDED COVERED CAR PARKING :- 19 COVERED PARKING & 2 OPEN PARKING TOTAL 21 NOS.					
11. PROVIDED AREA OF PARKING :- 285.031 SQ.M.					
13. PERMISSIBLE F.A.R. = 2.25					
14. PROPOSED F.A.R. = (285.031 / 1077.759) = 2.21					
13. STAIR HEAD ROOM-1 AREA :- 18.95 SQ.M. 13A. STAIR HEAD ROOM-2 AREA :- 20.610 SQ.M.					
14. LIFT MACHINE ROOM AREA :- 12.225 SQ.M. 14A. LIFT MACHINE ROOM STAIR :- 2.3 SQ.M.					
15. TERRACE TOILET :- 9.975 SQ.M. 15A. TERRACE PARGOLA :- NIL					
16. OVER HEAD TANK AREA :- 15.887 SQ.M.					
17. AREA OF LIFT :- NIL					
18. ROOF TERRACE (G+V) :- 367.075 SQ.M.					
20. ROOF STRUCTURE :- 72.847 SQ.M. < 1/3 OF ROOF AREA (12.368 SQ.M.)					
21. OTHER AREA ONLY FOR FEES = (43.572 (ALCOVE) + 39.58 + 12.225 (S.H.R. L.M.R. ETC.) + 41.01 (LIFT LOBBY) + 197.056 (STAIR LOBBY)) = 353.278 SQ.M.					

NOTES  
1. ALL DIMENSIONS ARE IN MM.  
2. RCC FRAMED STRUCTURE.  
3. SCALE: 1:100 UNLESS OTHERWISE MENTIONED.  
4. 200 M.M. THK. EXTERNAL 100 M.M. THK. INTERNAL WALLS WITH 1:4 CEMENT MORTAR JOINTS.

DOOR - WINDOW SCHEDULE					
MARKED	WIDTH	HEIGHT	MARKED	WIDTH	HEIGHT
W1	1500	1350	D1	1100	2100
W2	800	1200	D2	800	2100
W3	800	1200	D3	800	2100
W4	800	1200	D4	800	2100
W5	800	1200	D5	800	2100
W6	800	1200	D6	800	2100
W7	800	1200	D7	800	2100
W8	800	1200	D8	800	2100
W9	800	1200	D9	800	2100
W10	800	1200	D10	800	2100

CERTIFICATE OF GEO-TECHNICAL ENGINEER  
UNDERSIGNED HAS INSPECTED THE SITE, CARRIED OUT THE SOIL INVESTIGATION THEREIN. IT IS CERTIFIED THAT THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY THE LOAD COMING FROM THE PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM PROPOSED THEREIN IS SAFE AND STABLE IN ALL RESPECT FROM GEO-TECHNICAL POINT OF VIEW.

SUBHANKAR ROY  
Engineer (Geotechnical Engineer)  
Kolkata Municipal Corporation  
SIGNATURE OF THE GEO-TECHNICAL ENGINEER  
(M.E. (SOIL & FOUNDATION), B.C.E., M.I.S.C., M.I.R.C., M.E., M.S.O.C.E. (U.))

CERTIFICATE OF STRUCTURAL ENGINEER  
THE STRUCTURAL DESIGN OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING HAVE BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER N.B.C. OF INDIA AND BASIS OF SOIL INVESTIGATION REPORT BY M/s EARTHFILE (RUPAK KUMAR BANERJEE) CERTIFY THAT IT IS SAFE AND STABLE IN ALL RESPECT.

M.S. MITA SAHA  
M.E. (S.E.), M.S.E. (Structural Engineer)  
ESB-92 (I)  
AEC-89, Sec-II, Salt Lake  
SIGNATURE OF THE STRUCTURAL ENGINEER  
MITA SAHA (E.S.E. - 92 II)

DECLARATION OF ARCHITECT.

CERTIFIED THAT THE PLAN ITSELF WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS DRAWN UP AS PER PROVISION OF K.M.C. BUILDING RULES 2009, AS AMENDED FROM TIME TO TIME AND THE SITE CONDITION INCLUDING THE ADJUTING ROAD IS CONFORM WITH THE PLAN. IT IS A BUILDING SITE NOT A TANK OR FILLED UP TANK. THERE IS AN EX STRUC. TO BE DEMOLISHED BEFORE COMMENCEMENT OF WORK. IT IS FULLY OCCUPIED BY THE OWNER. THERE IS NO TENENT.

AMITAV BISWAS  
Chartered Architect  
CA/2010/47702  
SIGNATURE OF THE ARCHITECT  
AMITAV BISWAS (CA/2010/47702)

I DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT, I SHALL ENGAGE L.B.A & ESE DURING CONSTRUCTION. I SHALL FOLLOW THE INSTRUCTION OF L.B.A & E.S.E. DURING CONSTRUCTION OF THE BUILDING (AS PER PLAN) K.M.C. AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & ADJOINING STRUCTURE IF ANY SUBMITTED DOCUMENT ARE FAKE. THE K.M.C. AUTHORITY WILL REVOKE THE SANCTION PLAN. THE CONSTRUCTION OF U.G.W.R. TAKEN UNDER THE GUIDANCE OF L.B.A/ESE BEFORE STARTING OF BUILDING FOUNDATION.

FIRDOUS KALIM  
Chartered Attorney  
SIGNATURE OF THE OWNER  
FIRDOUS KALIM (C/O OF HATIM & CO.)

TITLE:  
GROUND FLOOR PLAN, FIRST FLOOR PLAN, TYPICAL FLOOR PLAN, ELEVATION, SECTION-AA, SECTION-BB, SITE PLAN, KEY PLAN

PROPOSED G+VII STORIED RESIDENTIAL BUILDING OF HEIGHT 25.40 M. AT PREMISES NO: 90, MUZAFFAR AHMED STREET (PREVIOUSLY RIPON STREET), UNDER K.M.C. WARD NO: 62, BOROUGH: VI, P.S. PARK STREET, KOLKATA-700016, COMPILING K.M.C. BUILDING RULES 2009 UNDER SECTION 393A OF K.M.C. ACT 1980 WITHIN THE KOLKATA MUNICIPAL CORPORATION

PROJECT ARCHITECT:  
PRAKALPA  
146, MAIN ROAD, ROY CHOWDHURY AVENUE,  
Mazumdar & 2nd floor, KOLKATA - 700 014  
T: 033 64607757/WEB SITE: www.prakalpa.in  
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DRAWN BY : SOURAV DAS  
CHECKED BY : AMITAV BISWAS  
APPROVED BY :  
SCALE : 1:100 (U.O.M)  
SUBMISSION DRAWING  
DRAWING NO. :  
RIPONSTREET/AR/SANC-01

